



An agency of the Government of Ontario



Un organisme du gouvernement de l'Ontario

This document was retrieved from the Ontario Heritage Act e-Register, which is accessible through the website of the Ontario Heritage Trust at **[www.heritagetrust.on.ca](http://www.heritagetrust.on.ca)**.

---

Ce document est tiré du registre électronique, tenu aux fins de la *Loi sur le patrimoine de l'Ontario*, accessible à partir du site Web de la Fiducie du patrimoine ontarien sur **[www.heritagetrust.on.ca](http://www.heritagetrust.on.ca)**.

Town of Paris  
66 Grand River St. N.  
Paris, Ontario N3L 2M2  
Telephone: (519) 442-6324



Lois

April 16, 1986

Ministry of Citizenship and Culture  
Heritage Branch  
77 Bloor Street West  
Toronto, Ontario  
M7A 2R9

RE: Heritage Designations

Dear Sir:

Pursuant to The Ontario Heritage Act, R.S.O. 1980, Chapter 337, please find enclosed notice re passing of By-law #2666 for 2 Arnold Street, Paris and By-law #2667, 16 Broadway Street West, Paris and a certified true copy of said by-laws.

If you have questions with respect to the enclosures, please do not hesitate to contact the writer.

Yours truly,

*Gloria Taylor*  
Gloria Taylor  
Deputy-Clerk

GT:sp

encl.

CORPORATION OF THE TOWN OF PARIS

BY-LAW NUMBER 2667

A BY-LAW TO DESIGNATE THE PROPERTY KNOWN  
MUNICIPALLY AS 16 BROADWAY STREET WEST,  
PARIS, AS BEING OF ARCHITECTURAL AND/OR  
HISTORICAL VALUE OR INTEREST

WHEREAS Section 29 of The Ontario Heritage Act,  
R.S.O. 1980 authorizes the Council of a municipality to  
enact by-laws to designate real property, including all  
buildings and structures thereon, to be of architectural  
or historic value or interest;

AND WHEREAS the Council of the Corporation of  
the Town of Paris has caused to be served on the owners  
of the lands and premises known as 16 Broadway Street West,  
and upon The Ontario Heritage Foundation, notice of intention  
to so designate the aforesaid real property and has caused  
such notice of intention to be published in the same  
newspaper having general circulation in the municipality  
once for each of three consecutive weeks;

AND WHEREAS the reason for designation are set  
out in Schedule "B" hereto;

AND WHEREAS no notice of objection to the proposed  
designation has been served on the Clerk of the municipality;


THEREFORE the Council of the Corporation of  
the Town of Paris enacts as follows:

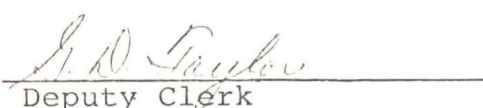
1. There is designated as being of architectural and/or  
historical value or interest the real property known  
as 16 Broadway Street West, more particularly described  
in Schedule A hereto.
2. The municipal Clerk is hereby authorized to cause a  
copy of this by-law to be registered against the property  
described in Schedule A hereto in the proper land  
registry office.
3. The Clerk is hereby authorized to cause a copy of this  
by-law to be served on the owner of the aforesaid  
property and on the Ontario Heritage Foundation and  
to cause notice of the passing of this by-law to be  
published in the same newspaper having general  
circulation in the municipality once for each of three  
consecutive weeks.

READ A FIRST TIME this 15th day of April 1986.

READ A SECOND TIME this 15th day of April 1986.

READ A THIRD TIME AND FINALLY PASSED this 15th day of April 1986.

  
\_\_\_\_\_  
Mayor

  
\_\_\_\_\_  
Deputy Clerk

I, G.D. Taylor, Deputy-Clerk for the  
Corporation of the Town of Paris do  
hereby certify that this is a true and  
correct copy of a by-law passed by  
Council on the 15th day of April 1986.

  
\_\_\_\_\_  
Deputy-Clerk

SCHEDULE "A"

-to-

BY-LAW NUMBER 2667

All and Singular that certain parcel or tract of land and premises situate, lying and being in the Town of Paris in the County of Brant and Province of Ontario, and being composed of Lot 9, Part Lot 10 West Broadway Street with a frontage of 114.38 feet, and a depth of 181.5 feet, .48 acres, known municipally as 16 Broadway Street West in the said Town of Paris.

SCHEDULE "B"

-to-

BY-LAW NUMBER 2667

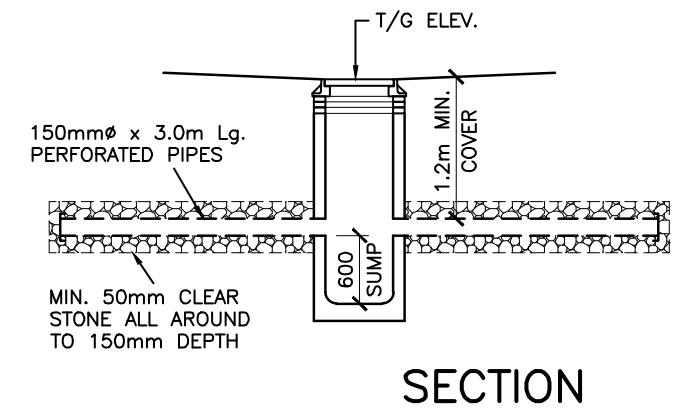
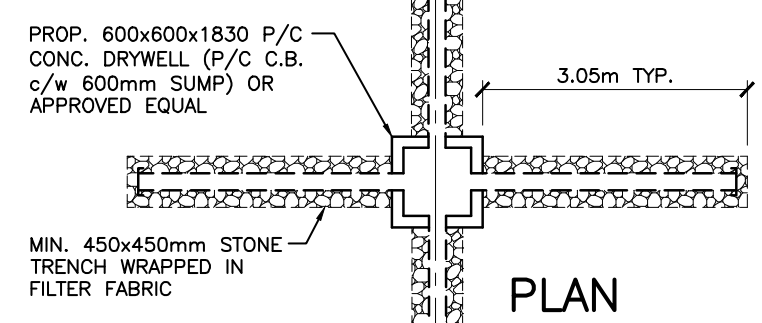
16 Broadway Street West, Paris, Ontario

Architectural

- has to be the best example of cobblestone in the area and New York state
- based on architectural merit alone it is felt that this home is worthy of designation under the Ontario Heritage Act.
- designation should include all exterior features but not include out buildings or landscaping.
- provides a textbook illustration of stylistic canons

Historical

- one of ten cobblestone buildings in the area by Master Levi Boughton
- one of Levi Boughton's best work



PROP. TOP/FDN. = 227.10m  
 BASED ON MIN. 0.15m EXPOSED  
 PROP. U/S FTG = 225.58m  
 BASED ON 1.37m [4'-6"] FDN WALL  
 & 0.15m [6"] FTG (TYPICAL)  
 PROP. FIN. FLOOR = 227.10m

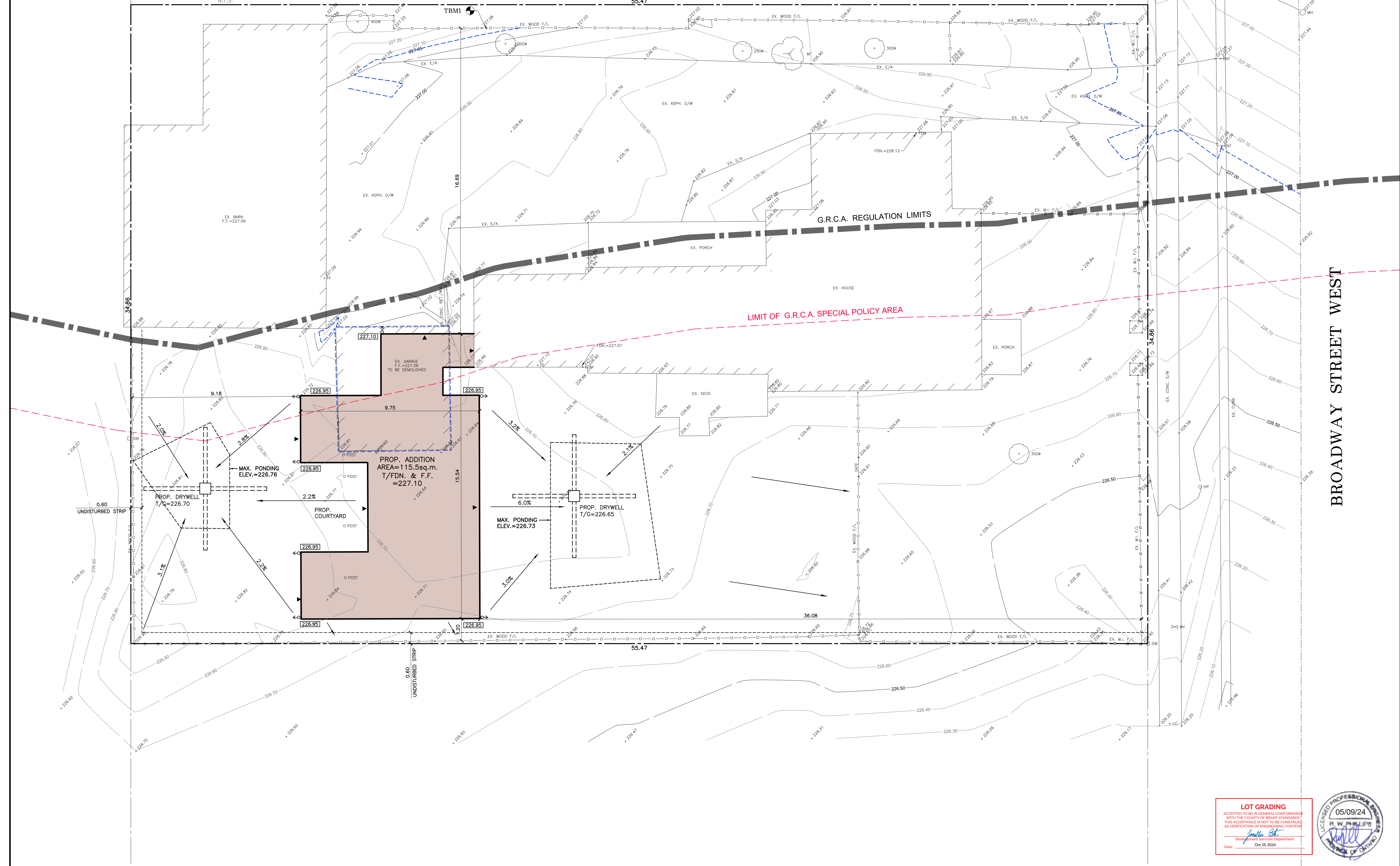
**PROPOSED DRYWELL DETAIL**



**LEGEND:**

- EXISTING ELEVATIONS
- 226.00 PROPOSED ELEVATIONS
- PROPOSED SWALE ELEVATIONS
- PROPOSED SWALE
- GENERAL DRAINAGE
- G.R.C.A. REGULATION LIMIT
- G.R.C.A. SPECIAL POLICY LIMIT
- FLOODPLAIN @ ELEV. 207.05
- ← PROPOSED DOWNSPOUT c/w CONCRETE SPLASH PAD

- NOTES:**
- ALL ELEVATIONS SHOWN ARE METRIC.
  - BUILDER/OWNER TO VERIFY COMPLIANCE WITH ZONING BYLAWS (i.e. SIDEYARDS, SETBACKS, REARYARDS ETC.)
  - ALL ELEVATIONS REFERENCE 2013 DATUM.



BROADWAY STREET WEST

T.B.M. No. 1 ELEV. = 227.52m (GEO)  
 NAIL ON SIDE OF FENCE POST AS SHOWN.

5	AS PER COUNTY COMMENTS	09/05/24	K.P.B.
4	AS PER COUNTY COMMENTS	07/29/24	S.L.M.
3	ADDITION	11/27/23	S.L.M.
2	FLOODPLAIN	10/13/23	S.L.M.
1	CHANGED TO 2013 DATUM	08/10/23	S.L.M.
NO.	REVISION	DATE (MM/DD/YY)	BY



440 HARDY ROAD, UNIT #1, BRANTFORD - ONTARIO, N3T 5L8  
 TEL. (519) 753-2656 FAX. (519) 753-4263 www.cohoeneng.com

PROJECT:  
**PROPOSED ADDITION TO RESIDENCE**  
 16 BROADWAY ST. WEST, PARIS  
 COUNTY OF BRANT

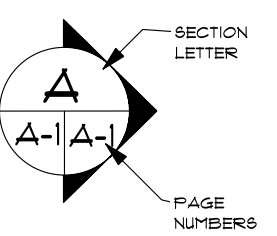
CLIENT:  
 PINEVEST

**SITE DEVELOPMENT PLAN**

DESIGN:	R.W.P.	SCALE:	1:100
DRAWN:	S.L.M.	JOB No:	<b>16144</b>
CHECKED:	R.W.P.	DWG. No:	<b>16144-1</b>
SHEET:	1 of 1	DATE:	MAY 18, 2023

**LOT GRADING**  
 ACCEPTED TO BE IN GENERAL CONFORMANCE WITH THE COUNTY OF BRANT STANDARDS. THIS ACCEPTANCE IS NOT TO BE CONSTRUED AS VERIFICATION OF ENGINEERING CONTENT.  
 Date: Oct 25 2024





I review and take responsibility for the design work and have the qualifications set out in the Ontario Building Code

MAX. 4" BRICK/STONE  
LINTEL SPAN O.B.C. 3.20.5.2.  
BL-1 4"Vx3 1/2"Hx1/4" T 8'-2"  
BL-2 5"Vx3 1/2"Hx5/16" T 10'-1"  
BL-3 6"Vx3 1/2"Hx1/16" T 11'-1"  
BL-4 6"Vx3 1/2"Hx1/2" T 12'-4"  
BL-5 7"Vx4"Hx1/2" T 14'-0"

**DESIGN DATA LOCATION**

LOCATION:	PARIS
GROUND SNOW LOAD:	1.4 KPa (29.2psf)
SPECIFIED SNOW LOAD:	1.11 KPa (24.4psf)
DEAD LOAD:	0.48 KPa (10psf)
WIND LOAD (1/50):	0.42 KPa (8.8psf)

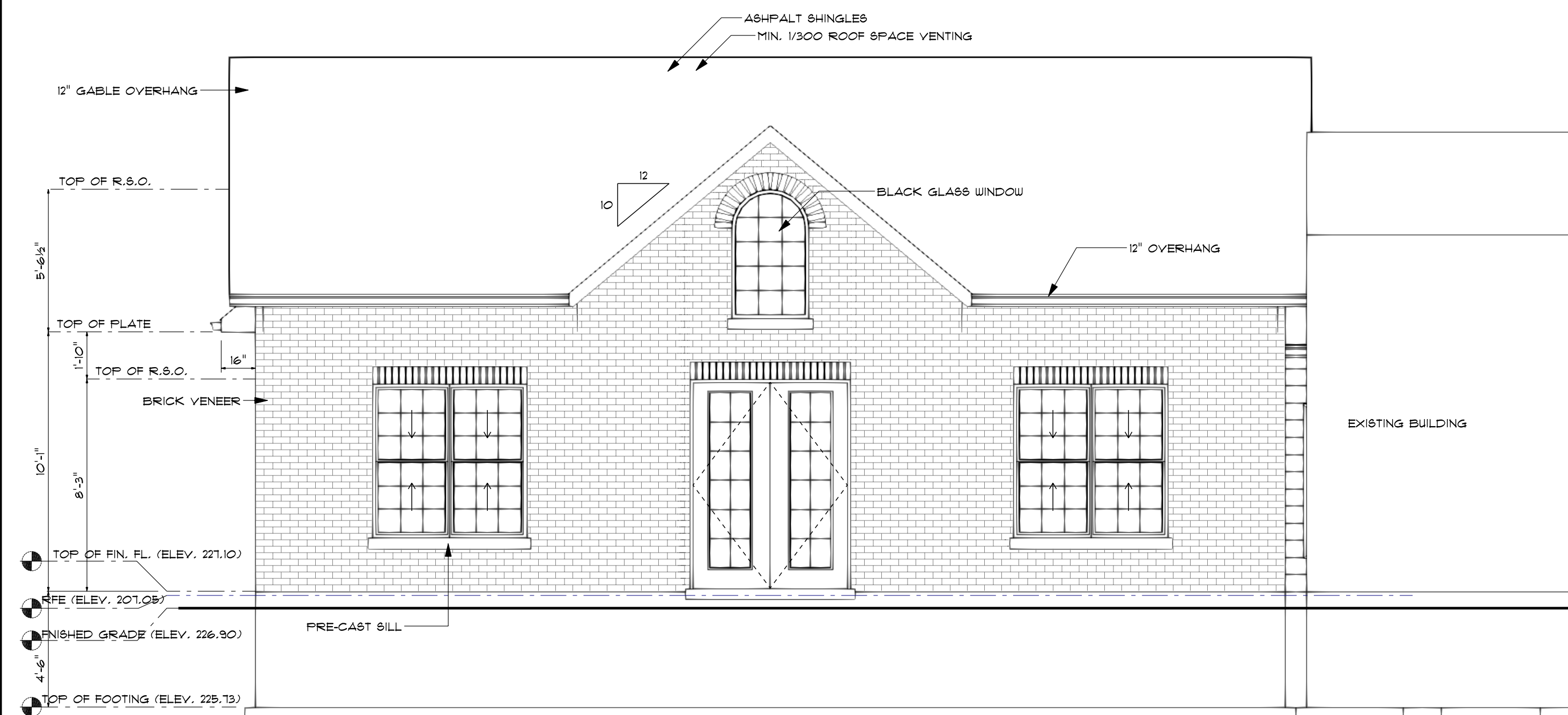
**GENERAL NOTES**

BOTH THE CLIENT & CONTRACTOR INCLUDING ALL SUB-CONTRACTORS SHALL REVIEW ALL DRAWINGS AND VERIFY DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CLIENT AND SUB-CONTRACTORS TO REPORT AND DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION

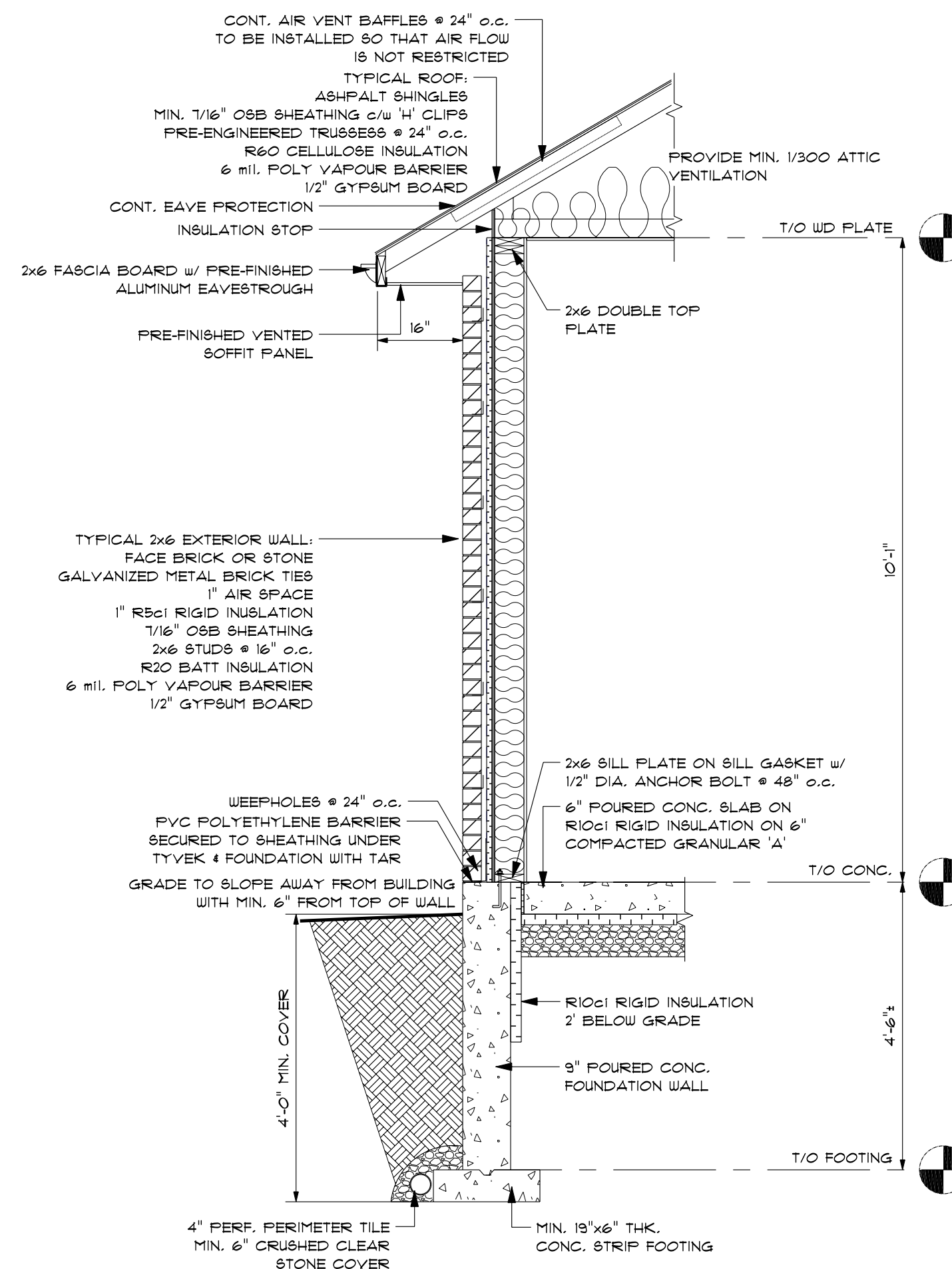
**ADDITION COMPLIANCE PACKAGE**

COMPONENT	THERMAL VALUES	
CEILING WITH ATTIC SPACE	MIN. NOMINAL R	R60
	MAX. U	
CEILING WITHOUT ATTIC SPACE	MIN. NOMINAL R	R31
	MAX. U	
EXPOSED FLOOR	MIN. NOMINAL R	R31
	MAX. U	
WALLS ABOVE GRADE	MIN. NOMINAL R	R19/R5c1
	MAX. U	
BASEMENT WALLS	MIN. NOMINAL R	R20c1
	MAX. U	
BELOW GRADE SLAB ENTIRE SURFACE GREATER THAN 600mm (23 5/8") BELOW GRADE	MIN. NOMINAL R	
	MAX. U	
HEATED SLAB OR SLAB EQUAL OR LESS THAN 600mm (23 5/8") BELOW GRADE	MIN. NOMINAL R	R10
	MAX. U	
EDGE OR BELOW GRADE SLAB EQUAL OR LESS THAN 600mm (23 5/8") BELOW GRADE	MIN. NOMINAL R	R10
	MAX. U	
WINDOWS AND SLIDING GLASS DOORS	MAX. U	0.28
	ENERGY RATING	

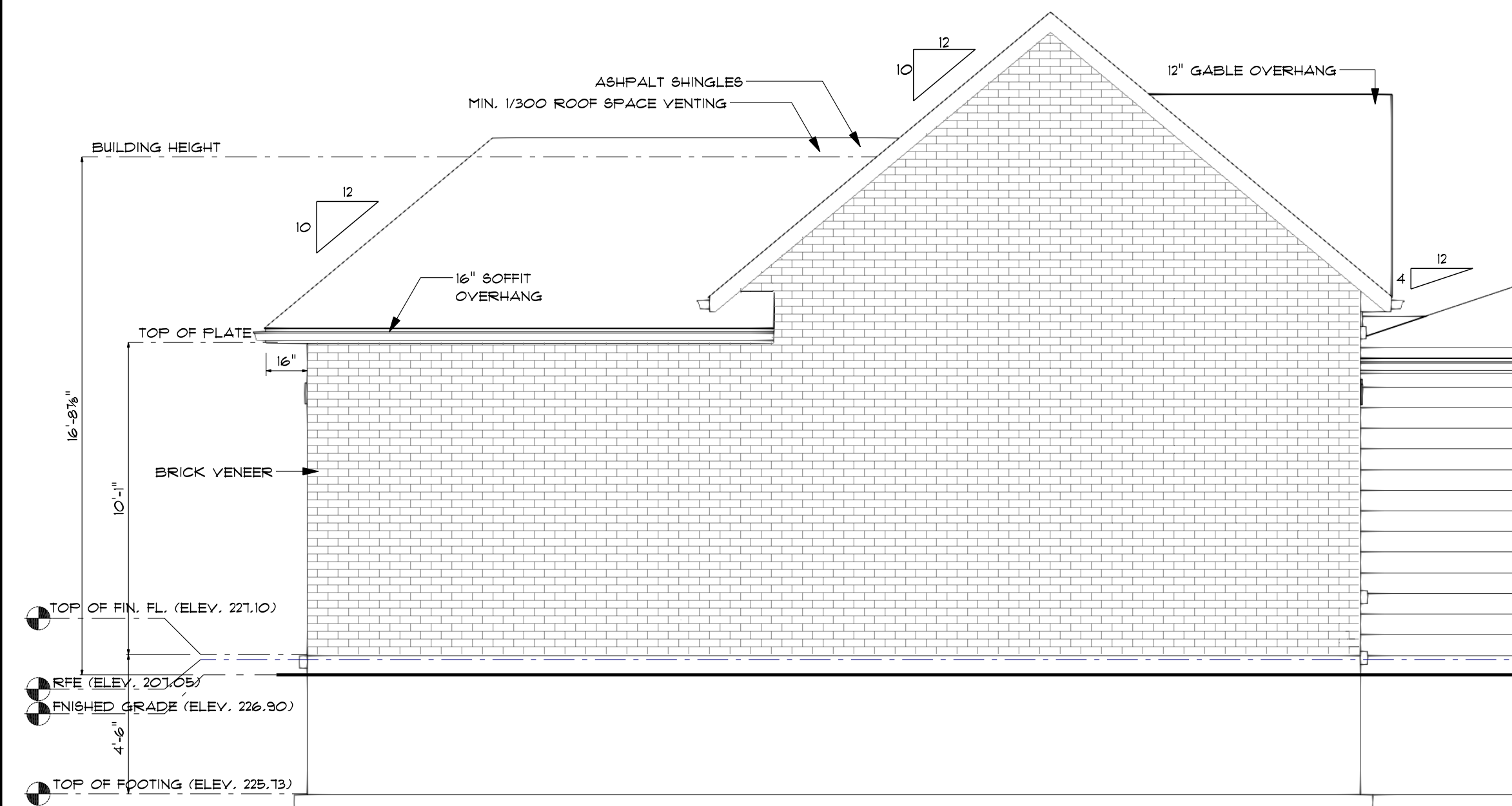
NOTES TO TABLE:  
(1) THE VALUES LISTED ARE MINIMUM NOMINAL R-VALUES FOR THE THERMAL INSULATION COMPONENT ONLY.  
(2) U-VALUE AND EFFECTIVE R VALUE SHALL INCLUDE ENTIRE CEILING ASSEMBLY COMPONENTS, FROM THE INTERIOR AIR FILM TO EXTERIOR SPACE AIR FILM ABOVE INSULATION.  
(3) U-VALUE AND EFFECTIVE R VALUE SHALL INCLUDE ENTIRE EXPOSED FLOOR OR ABOVE GRADE WALL ASSEMBLY COMPONENTS, FROM INTERIOR AIR FILM TO EXTERIOR AIR FILM.  
(4) U-VALUE AND EFFECTIVE R VALUE SHALL INCLUDE ENTIRE BASEMENT WALL OR SLAB ASSEMBLY COMPONENTS AND INTERIOR AIR FILM.  
(5) U-VALUE IS THE OVERALL COEFFICIENT OF HEAT TRANSFER FOR A WINDOW ASSEMBLY, SLIDING GLASS DOOR ASSEMBLY, OR SKYLIGHT ASSEMBLY EXPRESSED IN Btu/(sq.ft.F).  
(6) IN THE CASE OF BASEMENT WALL ASSEMBLIES, WHERE R20c1 IS REQUIRED R12/10c1 IS PERMITTED TO BE USED OR VICE VERSA, OR WHERE R12/5c1 IS REQUIRED, R15c1 IS PERMITTED TO BE USED OR VICE VERSA.  
(7) NOMINAL AND EFFECTIVE R VALUES ARE EXPRESSED IN (req.ft.F)/Btu. U-VALUES ARE EXPRESSED IN Btu/(req.ft.F).



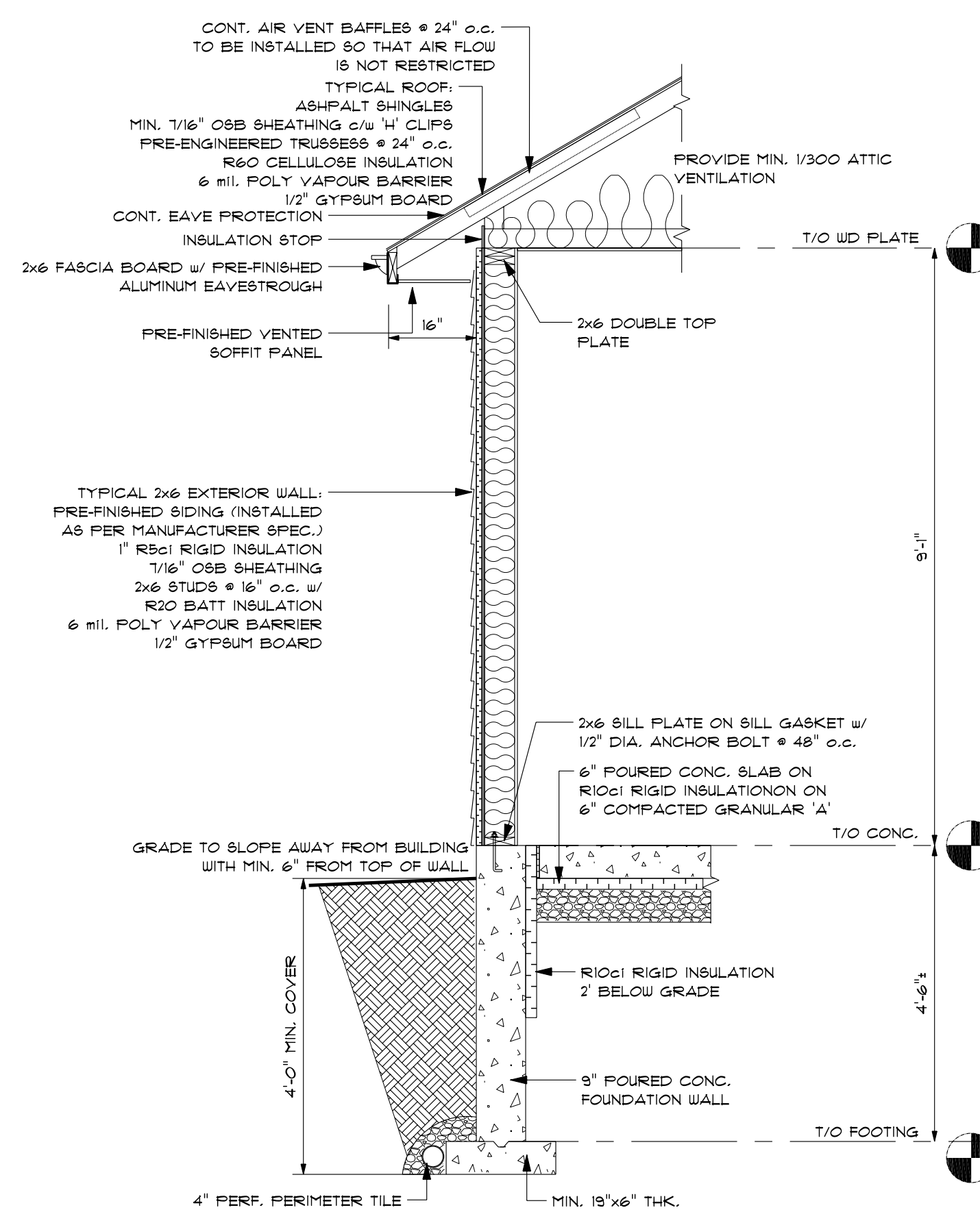
**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**TYPICAL WALL SECTION**  
SCALE: 1/2" = 1'-0"



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**TYPICAL WALL SECTION**  
SCALE: 1/2" = 1'-0"

**GENERAL NOTES**

- UNDER NO CIRCUMSTANCES ARE THESE DRAWINGS TO BE SCALED.
  - ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST VERSION OF THE ONTARIO BUILDING CODE (OBC) INCLUDING ALL THE LATEST STANDARDS REFERENCED WITHIN.
  - ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER/BUILDER AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT.
  - CONTRACTOR TO CHECK AND VERIFY ALL STRUCTURAL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER. FAILURE TO DO SO WILL CAUSE FORFEIT TO ANY CLAIM.
  - PROVIDE LINTELS OVER ALL OPENINGS, INCLUDING THOSE FROM MECHANICAL AND ELECTRICAL.
  - WHERE DOWNSPOUTS ARE PROVIDED AND NOT CONNECTED TO A SEWER, DOWNSPOUT EXTENSIONS SHALL BE PROVIDED TO CARRY RAINWATER AWAY FROM THE BUILDING IN A MANNER THAT WILL PREVENT SOIL EROSION AS PER O.B.C. 9.26.18.2.
- FOUNDATION**  
1. ALL FOOTINGS TO BEAR ON NATIVE UNDISTURBED SOIL HAVING A SAFE BEARING CAPACITY OF 15 TO P.S.F.  
2. PROVIDE 4'-0" MINIMUM OF FROST COVER FOR ALL EXTERIOR FOOTINGS.
- STRUCTURAL STEEL**  
1. STRUCTURAL STEEL DESIGN MUST CONFORM TO CSA 816.  
2. ANCHOR BOLTS SHALL CONFORM TO ASTM A307 U.O.N.  
3. ALL WELDING TO CONFORM TO C.W.B. APPROVED PROCEDURES. ALL WELDING TO BE CARRIED OUT BY WELDERS CERTIFIED BY THE C.W.B., EMPLOYED BY A FIRM CERTIFIED IN DIVISION 1 or 2.  
4. ALL STRUCTURAL STEEL EXPOSED TO WEATHER SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH CSA G164 U.O.N.
- LUMBER**  
1. ALL 6x4 LUMBER TO BE S.P.F. No. 2 GRADE OR BETTER AND CONFORM TO CSA-O141.  
2. ALL ENGINEERED BUILT UP BEAMS ARE TO BE LVL'S (GRADE 2.0x26 F81).  
3. CONNECT 2"x6" WOOD PLATE TO TOP OF ALL STEEL BEAMS AS PER THE TYPICAL DETAILS.  
4. TRUSS DESIGN TO BE IN ACCORDANCE WITH PART 4 OF THE O.B.C. PROVIDE HOLD DOWN CLIPS AT ALL TRUSSES, WHICH ARE TO BE DESIGNED BY THE ROOF TRUSS ENGINEERS.  
5. PROVIDE SOLID BLOCKING BETWEEN JOISTS BELOW ALL BEARING WALLS WHICH ARE PERPENDICULAR TO THE JOISTS.  
6. PROVIDE APPROVED BLOCKING OR BRIDGING AT 2000 mm (7'-0") O/C MAX. FOR FLOOR JOISTS.  
7. TYPICAL BEARING WALL IS 2"x6" @ 16" O/C MIN. U.O.N.  
8. ALL LUMBER BEAMS ARE TO BE SUPPORTED ON LUMBER POSTS (U.O.N) WITH EQUAL NUMBER OF LAMINATIONS.  
9. ALL BUILT-UP POSTS ARE TO BE CONSTRUCTED CONTINUOUSLY TO THE FOUNDATION WITH SOLID TRANSFER BLOCKING AT EACH FLOOR.  
10. WOOD IS NOT TO BEAR DIRECTLY ON CONCRETE/MASONRY. PROVIDE PRESSURE TREATED, POLY, OR BILL GASKET BETWEEN CONCRETE/MASONRY AND WOOD BILL PLATE.  
11. ALL JOISTS SHOULD HAVE A MINIMUM OF 40 mm (1 1/2") OF BEARING U.O.N. BY MANUFACTURER.  
12. ALL LUMBER BEAMS SHOULD HAVE A MINIMUM OF 75 mm (3") BEARING.  
13. BUILT UP POSTS SHALL BE NAILED TOGETHER @ 150 mm (6") O/C STAGGERED U.O.N.  
14. PROVIDE TIMBER BUILT-UP LINTELS OVER DOOR AND WINDOW OPENINGS IF NOT INDICATED ON DRAWING:  
OPENING < 1'-0" - (3-PLY) 2"x10"  
OPENING < 10'-0" - (3-PLY) 2"x10"
- CONCRETE & REINFORCING**  
1. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST REQUIREMENTS OF CSA A23.1, A23.2 & A23.3.  
2. REINFORCING SHALL CONFORM TO CSA G30.18, GRADE 400U, Fy400 MPa  
3. ALL REINFORCING LAP SPICES SHALL CONFORM TO THE LATEST CSA STANDARD A23.3 & ALL BARS SPICES TO BE CLASS B TENSION U.O.N.  
4. CRACK CONTROL SHOULD BE PLACED ALONG THE CENTRE OF THE LENGTH AND WIDTH OF AREA AND PLACED NO MORE THAN 14'-0" O/C. PROVIDE JOINT FILLER IN CONTROL JOINTS.  
5. ALL CONCRETE COVER SHALL CONFORM TO CSA A23.1 AND THE FOLLOWING BELOW U.O.N.  
A. CONCRETE CAST AGAINST EARTH: 75 MM (3")  
B. EXTERIOR BEAMS, SLABS, COLUMNS/PIERS AND WALLS: 40 MM (1.5")  
C. INTERIOR BEAMS & COLUMNS/PIERS: 30 MM (1.25")  
D. INTERIOR SLABS: 25 MM (1")  
6. ALL CONCRETE SHALL BE A MINIMUM OF 20 MPa AT A 28 DAY COMPRESSIVE STRENGTH U.O.N.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN

**QUALIFICATION INFORMATION**  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C. 3.2.5.1. OF THE ONTARIO BUILDING CODE

HEATHER PAYNE 103345  
NAME BCIN  
*Heather Payne*  
SIGNATURE

**PROPOSED ADDITION FOR:**  
JOHN STRACHAN

16 BROADWAY ST. WEST  
PARIS, ON

**ELEVATIONS & SECTIONS**

PROJECT # 16BROADWAY-03  
DRAWN BY: HP  
CHECKED BY: HP  
SCALE: As Noted  
DATE: September 9, 2024

I review and take responsibility for the design work and have the qualifications set out in the Ontario Building Code

MAX. 4" BRICK/STONE  
LINTEL SPAN O.B.C. 3.20.5.2.

BL-1	4" x 3 1/2" x 1/4" T	8'-2"
BL-2	5" x 3 1/2" x 1/6" T	10'-1"
BL-3	6" x 3 1/2" x 1/6" T	11'-1"
BL-4	6" x 3 1/2" x 1/2" T	12'-4"
BL-5	7" x 4" x 1/2" T	14'-0"

DESIGN DATA LOCATION

LOCATION:	PARIS
GROUND SNOW LOAD:	1.4 KPa (29.2psf)
SPECIFIED SNOW LOAD:	1.11 KPa (24.4psf)
DEAD LOAD:	0.48 KPa (10psf)
WIND LOAD (150):	0.42 KPa (8.8psf)

GENERAL NOTES  
BOTH THE CLIENT & CONTRACTOR INCLUDING ALL SUB-CONTRACTORS SHALL REVIEW ALL DRAWINGS AND VERIFY DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CLIENT AND SUB-CONTRACTORS TO REPORT AND DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION

AREA SCHEDULE

NAME	AREA
LOT COVERAGE	1295.4 sq. ft.
MAIN FLOOR	1136.0 sq. ft.
BREEZE WAY	163.8 sq. ft.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN  
QUALIFICATION INFORMATION  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C. 3.2.3.1. OF THE ONTARIO BUILDING CODE

HEATHER PAYNE 103345  
NAME BCIN  
SIGNATURE

PROPOSED ADDITION FOR:  
JOHN STRACHAN

16 BROADWAY ST. WEST  
PARIS, ON

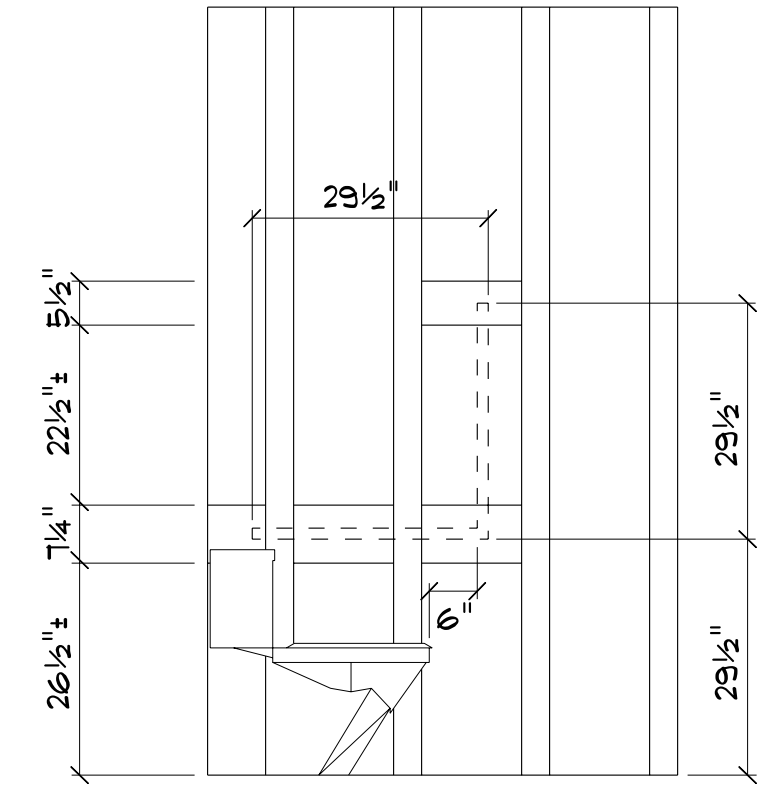
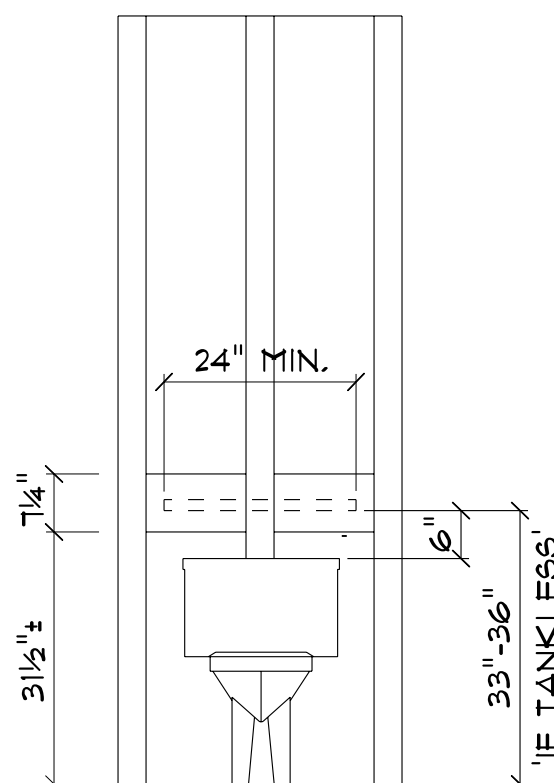
ELEVATIONS

PROJECT #	16BROADWAY-03
DRAWN BY:	HP
CHECKED BY:	HP
SCALE:	As Noted
DATE:	September 9, 2024

PAGE: **A2**

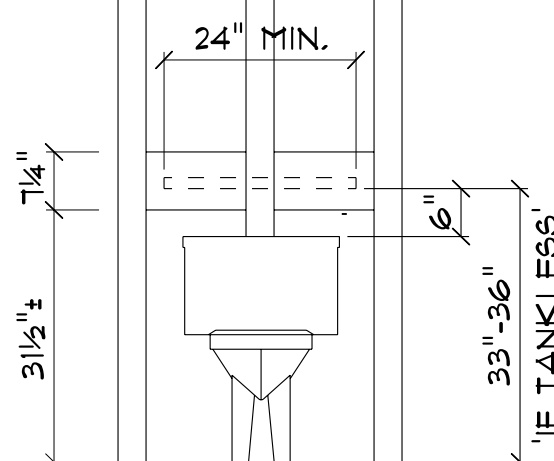
**ADJECENT TO WATER CLOSET**  
REF.: DIV B, 3.8.3.8.(3)(a)

- FUTURE GRAB BARS SHALL BE:
- CONTINUOUS L-SHAPED
  - 30" HORIZONTAL & VERTICAL COMPONENTS
  - WALL MOUNTED W/ HORIZONTAL COMPONENT 30" A.F.F.
  - VERTICAL COMPONENT 6" FROM THE FRONT OF THE WATER CLOSET
  - RESIST A LOAD OF AT LEAST 1.3KN APPLIED VERTICALLY OR HORIZONTALLY
  - BE NOT LESS THAN 1 1/8" AND NOT MORE THAN 1 3/8" DIA.
  - HAVE A HAND CLEARANCE BETWEEN THE WALL AND GRAB BAR OF MIN. 1 1/2" AND MAX. 2"
  - HAVE A SLIP-RESISTANT SURFACE
- REQUIRED BLOCKING MATERIAL SHALL BE:
- 2x6, 2x8 MATERIAL
  - 5/8" PLYWOOD OR EQUIVALENT (NOT OSB)
- FUTURE FULL-COIN GRAB BARS SHALL BE:
- MOUNTED ON THE WALL BEHIND THE WATER CLOSET
  - HORIZONTAL COMPONENT 29 1/2" A.F.F.
  - NOT LESS THAN 1 3/8" AND NOT MORE THAN 1 5/8" FROM THE CENTRE OF THE WATER CLOSET
  - BE AT LEAST 29 1/2" IN LENGTH
  - NOT REQUIRE A FORCE MORE THAN 22.2N TO FULL DOWN
  - RESIST A LOAD OF AT LEAST 1.3KN APPLIED VERTICALLY OR HORIZONTALLY
  - BE NOT LESS THAN 1 1/8" AND NOT MORE THAN 1 3/8" DIA.
  - HAVE A SLIP-RESISTANT SURFACE



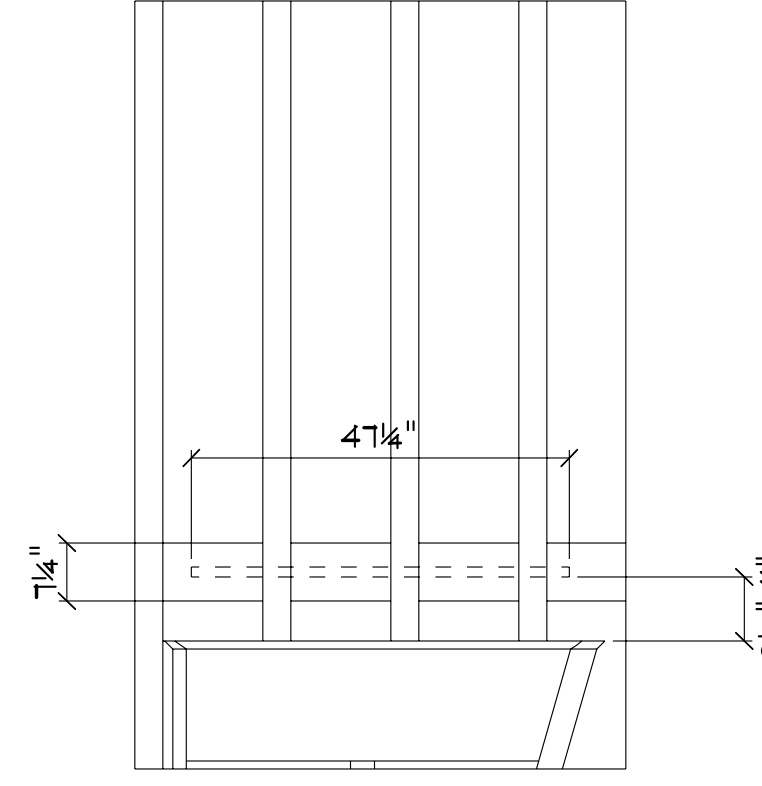
**BEHIND WATER CLOSET**  
REF.: DIV B, 3.8.3.8.(3)(a)

- FUTURE GRAB BARS SHALL BE:
- MINIMUM 24" IN LENGTH
  - WALL MOUNTED 33"-36" A.F.F. (TANKLESS) OR
  - 6" ABOVE THE TANK
  - RESIST A LOAD OF AT LEAST 1.3KN APPLIED VERTICALLY OR HORIZONTALLY
  - BE NOT LESS THAN 1 1/8" AND NOT MORE THAN 1 3/8" DIA.
  - HAVE A HAND CLEARANCE BETWEEN THE WALL AND GRAB BAR OF MIN. 1 1/2" AND MAX. 2"
  - HAVE A SLIP-RESISTANT SURFACE
- REQUIRED BLOCKING MATERIAL SHALL BE:
- 2x6, 2x8 MATERIAL
  - 5/8" PLYWOOD OR EQUIVALENT (NOT OSB)
- FUTURE FULL-COIN GRAB BARS SHALL BE:
- MOUNTED ON THE WALL BEHIND THE WATER CLOSET
  - HORIZONTAL COMPONENT 29 1/2" A.F.F.
  - NOT LESS THAN 1 3/8" AND NOT MORE THAN 1 5/8" FROM THE CENTRE OF THE WATER CLOSET
  - BE AT LEAST 29 1/2" IN LENGTH
  - NOT REQUIRE A FORCE MORE THAN 22.2N TO FULL DOWN
  - RESIST A LOAD OF AT LEAST 1.3KN APPLIED VERTICALLY OR HORIZONTALLY
  - BE NOT LESS THAN 1 1/8" AND NOT MORE THAN 1 3/8" DIA.
  - HAVE A SLIP-RESISTANT SURFACE



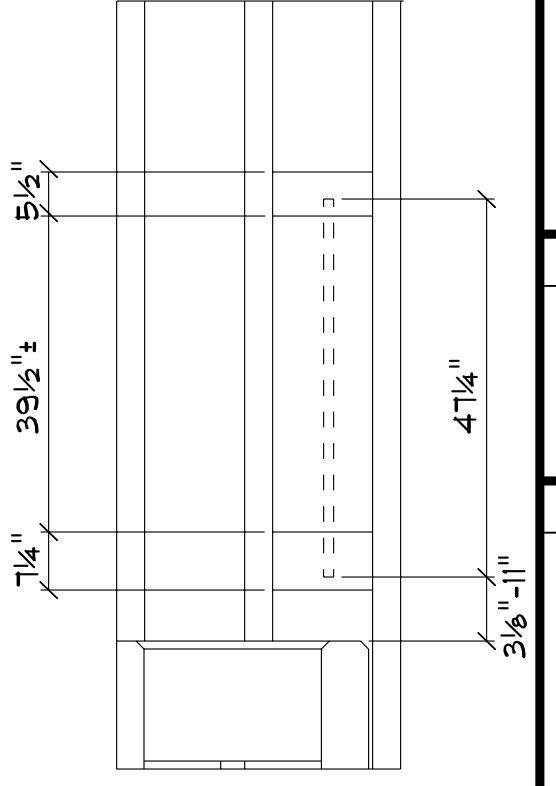
**BEHIND BATHTUB**  
REF.: DIV B, 3.8.3.13.(4)(a)

- FUTURE BATHTUB GRAB BARS SHALL BE:
- MIN. 47 1/4" HORIZONTAL LENGTH
  - LOCATED ALONG THE FULL LENGTH OF THE TUB
  - MOUNTED 3 1/2" - 11" ABOVE THE RIM OF THE TUB
  - RESIST A LOAD OF AT LEAST 1.3KN APPLIED VERTICALLY OR HORIZONTALLY
  - BE NOT LESS THAN 1 1/8" AND NOT MORE THAN 1 3/8" DIA.
  - HAVE A HAND CLEARANCE BETWEEN THE WALL AND GRAB BAR OF MIN. 1 1/2" AND MAX. 2"
  - HAVE A SLIP-RESISTANT SURFACE
- REQUIRED BLOCKING MATERIAL SHALL BE:
- 2x6, 2x8 MATERIAL
  - 5/8" PLYWOOD OR EQUIVALENT (NOT OSB)



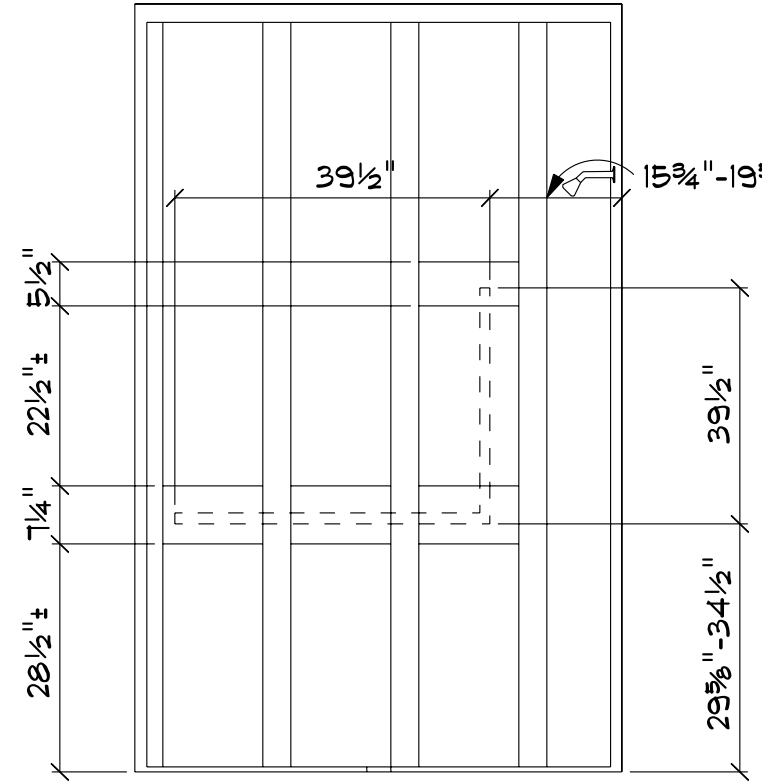
**ADJECENT TO BATHTUB**  
REF.: DIV B, 3.8.3.13.(4)(a)

- FUTURE BATHTUB GRAB BARS SHALL BE:
- MIN. 47 1/4" VERTICAL LENGTH
  - LOCATED AT EACH END OF THE BATHTUB
  - MOUNTED 3 1/2" - 11" ABOVE THE RIM OF THE TUB
  - RESIST A LOAD OF AT LEAST 1.3KN APPLIED VERTICALLY OR HORIZONTALLY
  - BE NOT LESS THAN 1 1/8" AND NOT MORE THAN 1 3/8" DIA.
  - HAVE A HAND CLEARANCE BETWEEN THE WALL AND GRAB BAR OF MIN. 1 1/2" AND MAX. 2"
  - HAVE A SLIP-RESISTANT SURFACE
- REQUIRED BLOCKING MATERIAL SHALL BE:
- 2x6, 2x8 MATERIAL
  - 5/8" PLYWOOD OR EQUIVALENT (NOT OSB)



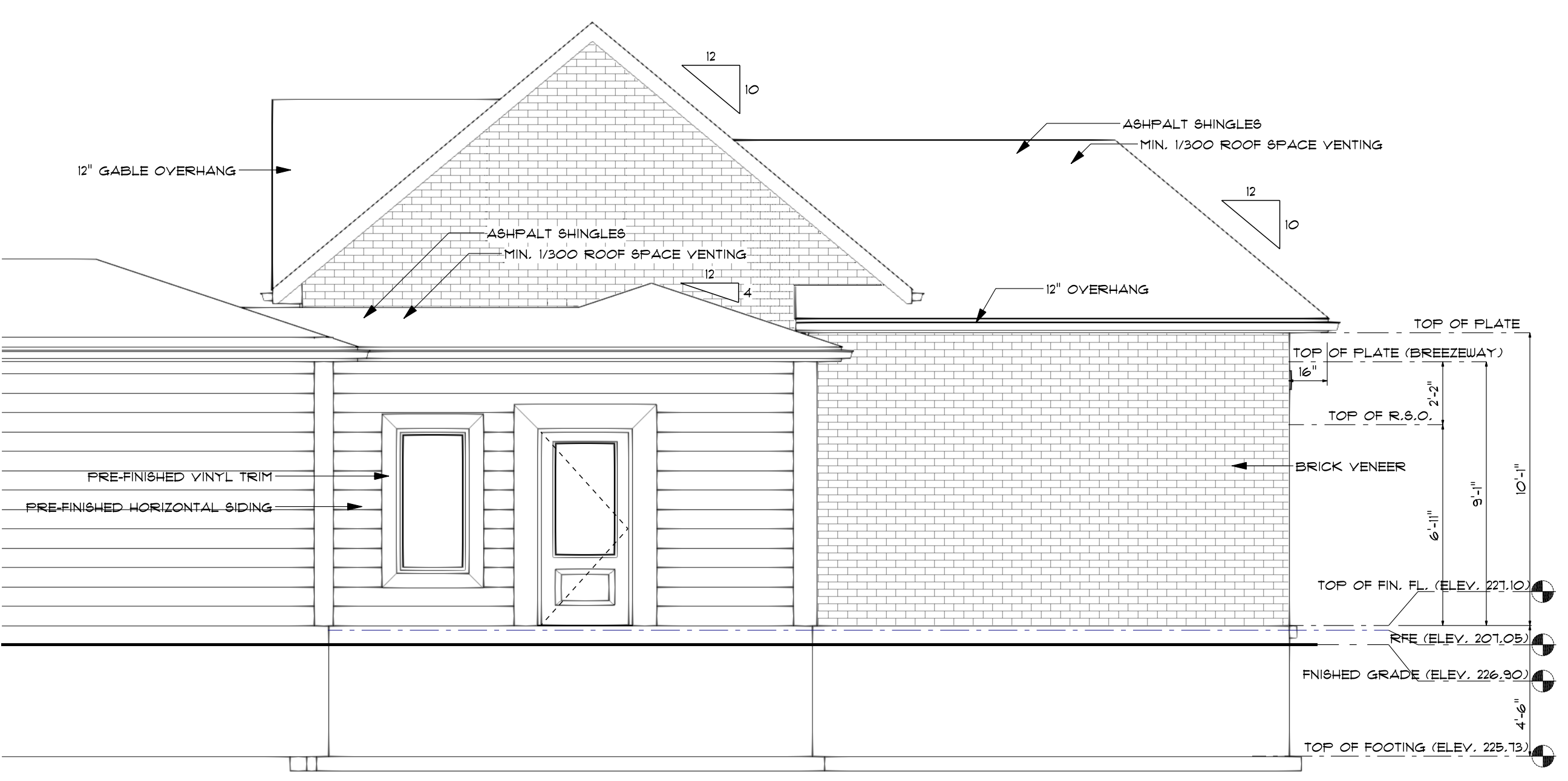
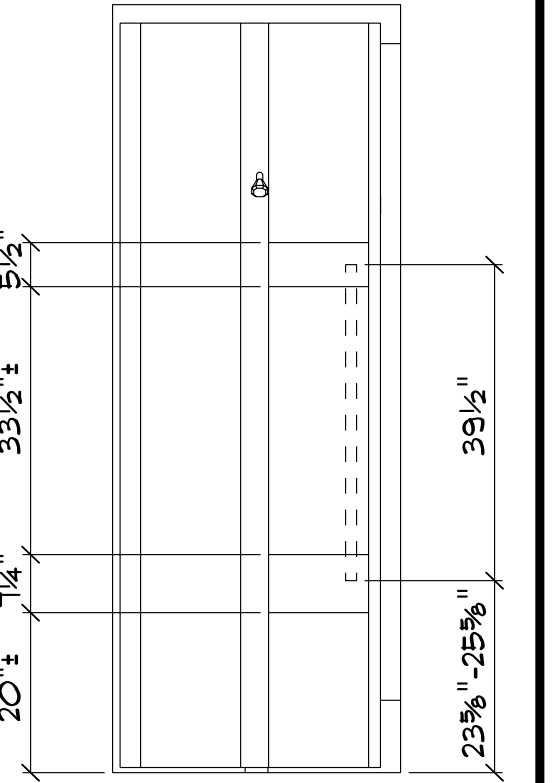
**BEHIND SHOWER**  
REF.: DIV B, 3.8.3.13.(2)(g)

- FUTURE SHOWER GRAB BARS SHALL BE:
- CONTINUOUS L-SHAPED
  - 39 1/2" HORIZONTAL COMPONENT
  - MOUNTED 29 1/2" TO 34 1/2" A.F.F.
  - 29 1/2" VERTICAL COMPONENT
  - MOUNTED 18 1/4" TO 19 1/2" FROM THE SIDE WALL ON WHICH THE VERTICAL BAR IS MOUNTED
  - RESIST A LOAD OF AT LEAST 1.3KN APPLIED VERTICALLY OR HORIZONTALLY
  - BE NOT LESS THAN 1 1/8" AND NOT MORE THAN 1 3/8" DIA.
  - HAVE A HAND CLEARANCE BETWEEN THE WALL AND GRAB BAR OF MIN. 1 1/2" AND MAX. 2"
  - HAVE A SLIP-RESISTANT SURFACE
- REQUIRED BLOCKING MATERIAL SHALL BE:
- 2x6, 2x8 MATERIAL
  - 5/8" PLYWOOD OR EQUIVALENT (NOT OSB)

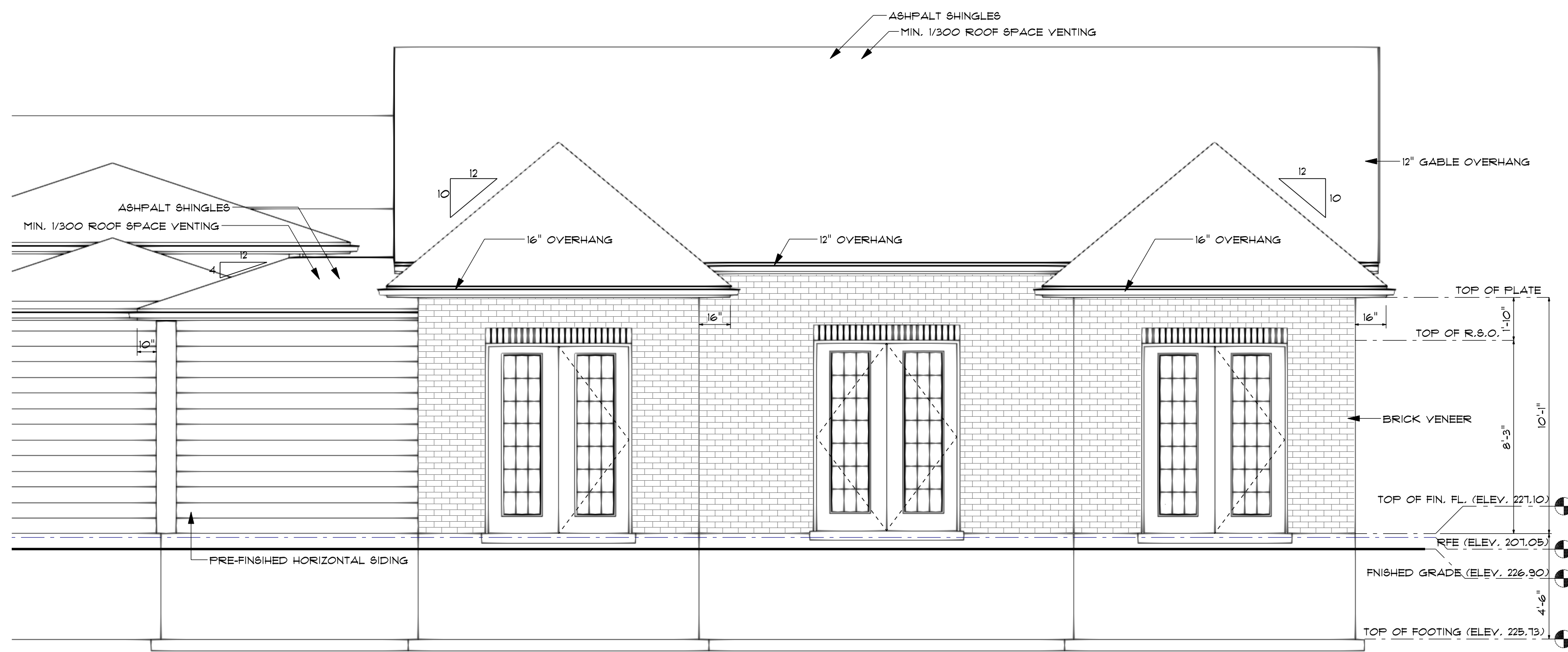


**ADJECENT TO SHOWER**  
REF.: DIV B, 3.8.3.13.(2)(g)

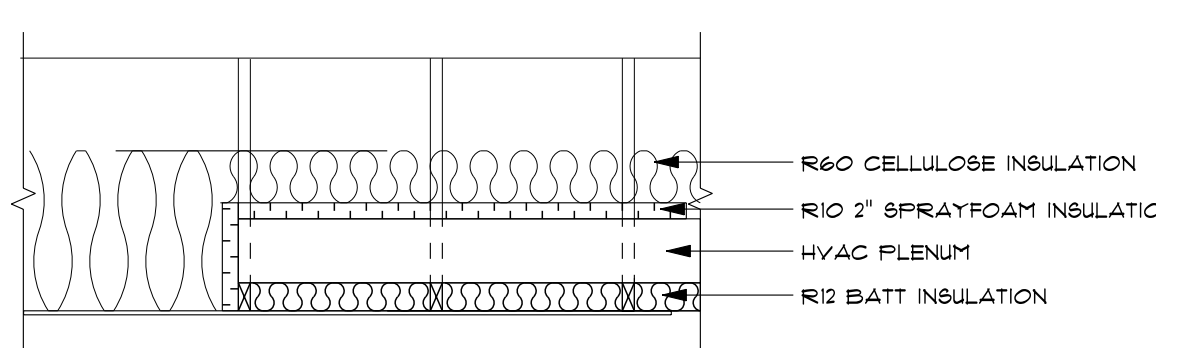
- FUTURE SHOWER GRAB BARS SHALL BE:
- NOT OBSTRUCTING THE USE OF SHOWER CONTROLS
  - 39 1/2" VERTICAL COMPONENT
  - LOCATED ON THE SIDE WALL BETWEEN 2" - 3" FROM THE ADJECENT CLEAR FLOOR AREA
  - LOWER END BETWEEN 29 1/2" - 29 1/2" A.F.F.
  - RESIST A LOAD OF AT LEAST 1.3KN APPLIED VERTICALLY OR HORIZONTALLY
  - BE NOT LESS THAN 1 1/8" AND NOT MORE THAN 1 3/8" DIA.
  - HAVE A HAND CLEARANCE BETWEEN THE WALL AND GRAB BAR OF MIN. 1 1/2" AND MAX. 2"
  - HAVE A SLIP-RESISTANT SURFACE
- REQUIRED BLOCKING MATERIAL SHALL BE:
- 2x6, 2x8 MATERIAL
  - 5/8" PLYWOOD OR EQUIVALENT (NOT OSB)



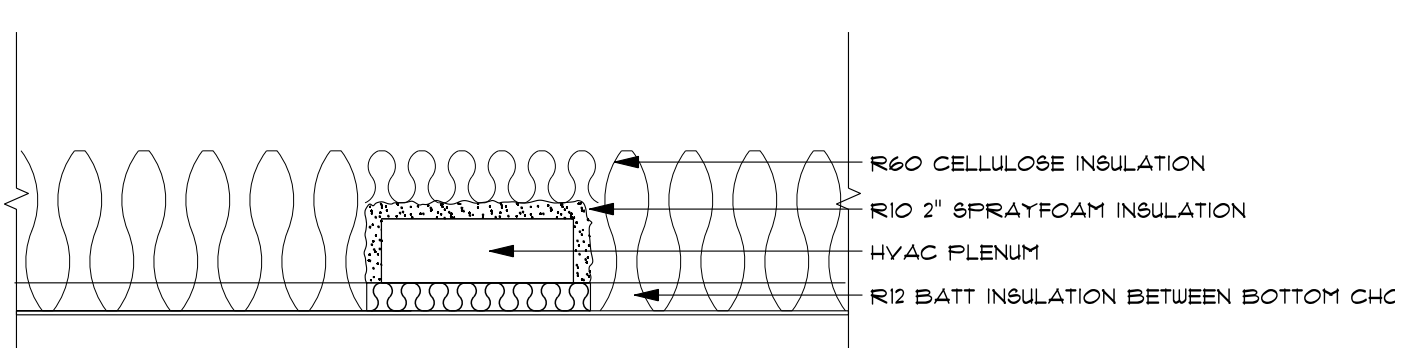
**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

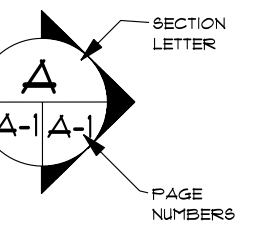


**HYAC PLENUM INSULATION A**  
SCALE: 1/2" = 1'-0"



**HYAC PLENUM INSULATION B**  
SCALE: 1/2" = 1'-0"





I review and take responsibility for the design work and have the qualifications set out in the Ontario Building Code

MAX. 4" BRICK/STONE  
LINTEL SPAN O.B.C. 3.20.5.2.  
BL-1 4"Vx3 1/2"Hx1/4" T 8'-2"  
BL-2 5"Vx3 1/2"Hx5/16" T 10'-1"  
BL-3 6"Vx3 1/2"Hx1/16" T 11'-1"  
BL-4 6"Vx3 1/2"Hx1/2" T 12'-4"  
BL-5 1"Vx4"Hx1/2" T 14'-0"

DESIGN DATA LOCATION	
LOCATION:	PARIS
GROUND SNOW LOAD:	1.4 KPa (29.2psf)
SPECIFIED SNOW LOAD:	1.17 KPa (24.4psf)
DEAD LOAD:	0.48 KPa (10psf)
WIND LOAD (150):	0.42 KPa (8.8psf)

**GENERAL NOTES**  
BOTH THE CLIENT & CONTRACTOR INCLUDING ALL SUB-CONTRACTORS SHALL REVIEW ALL DRAWINGS AND VERIFY DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CLIENT AND SUB-CONTRACTORS TO REPORT AND DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN

**QUALIFICATION INFORMATION**  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C. 3.2.5.1. OF THE ONTARIO BUILDING CODE

HEATHER PATNE 103345  
NAME BCIN

*Heather Patne*  
SIGNATURE

**PROPOSED ADDITION FOR:**  
JOHN STRACHAN

16 BROADWAY ST. WEST  
PARIS, ON

**FLOOR PLANS**

PROJECT #	16BROADWAY-03
DRAWN BY:	HP
CHECKED BY:	HP
SCALE:	1/4" = 1'-0"
DATE:	September 9, 2024

PAGE: **A3**

